

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # H-19-26A

Address – 404 Montezuma Avenue
Owner’s Name – State of New Mexico Department of Cultural Affairs
Applicant – Historic Preservation Division Staff

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on September 26, 2019.

BACKGROUND

404 Montezuma is a large non-residential structure listed as contributing to the Transition Historic District, just north of the Railyard District. Known presently as the Halpin State Archives Building, the former Charles Ilfeld Company Warehouse is located at the southwest corner of Guadalupe and Montezuma Streets, just north of the Atchison, Topeka & Santa Fe Depot (AT&SF Depot, c. 1880), with Garfield Street at the southern property boundary. The Charles Ilfeld Company Warehouse was constructed by 1948, as it appears on the Sanborn Fire Insurance Map from that year, and possibly as early as 1938 (HCPI #H27150). The warehouse was constructed in simplified Territorial Revival Style, featuring rectangular stuccoed brick masonry massing with brick coping at the parapets. Extensive historical information about the Charles Ilfeld Company is set forth in a report prepared by architect Jonathan S. Craig and was provided to the City’s Historic Preservation Division by the New Mexico Department of Cultural Affairs. It is believed that the building was constructed by M.W. Cooper and that the plans for the building were prepared by Gordon Street, who was a well-known designer in the region in the 1930s and served as John Gaw Meem’s chief draftsman and delineator for five years.

The warehouse structure originally consisted of a main high-bay room of approximately 11,500 square feet with an interior height of 16’ to the bottom of the roof joists, over a basement of approximately the same floor area. The warehouse was aligned with the railroad tracks, as it was situated between the terminus of the AT&SF line and the Chili Line (Denver, Rio Grande, Western narrow gauge), as can be seen on the 1948 Sanborn map. A single-story office wing of approximately 1,800 square feet abuts the northwest corner of the warehouse and is oriented to Montezuma Street. This historic addition was constructed at an unknown date prior to 1948 and was remodeled after 1970, altering the structure’s footprint. An approximately 650 square foot historic addition at the southeast corner of the building is also visible on the 1948 Sanborn map and was likely a loading entry and dock for freight deliveries by road. This “south wing” was extended further between 1948 and 1959, as is evidenced in a 1959 survey of the property done prior to the acquisition of the building by the State of New Mexico. A concrete railroad loading platform extends along the entire east façade of the original warehouse and connects with a vehicle loading dock along the north façade. It appears that this north loading dock originally featured a canopy supported off the building with tension rods and turnbuckles. This north loading dock

below the canopy was infilled during renovations in 1970, when the interior of the building was extensively altered.

Windows are generally 3 over 2, approximately three-foot square, inward opening steel hoppers positioned high along the east, south, and west sides of the main warehouse, with similar windows approximately half this height with a single row of three lites along the north façade. Most of the windows are paired symmetrically within structural bays, but on the north and south façades, windows are omitted from the westernmost bays, with only one window in the easternmost bay. On the east façade, there is a mulled double window centered over the former freight door in the middle of the façade, and a similar window in the northernmost bay over the exit door from the basement. The windows on the west façade originally featured two small casement windows and six 36” square windows, similar to the east and south facades, but these were replaced with non-historic aluminum sliders. The northwest office wing has approximately 36”x80” steel windows with fixed glass top panes, and operable horizontal sashes below (now inoperable). It is unclear whether these windows were original to the historic addition or if they were replaced during a later renovation. An additional steel casement window was likely a later addition on the north elevation. Decorative wood grilles are now present on the exterior of the windows on the northwest office wing, though dates for these were not specified. Finally, basement windows on the south and west façades were infilled prior to 1970.

The most substantial exterior change to the building was the boarding up of the windows on the east façade and installation of a mural covering the entire east façade facing Guadalupe Street. The 1997 HCPI for the property indicates that this mural was painted by Zara Kriegstein, Giberton Guzman, et al., and was featured in the book “Street Murals” by Volker Barthelmeh in 1982. The New Mexico Department of Cultural Affairs undertook an assessment of this mural in 2015, during which time it was determined that the mural was installed a year or two before the book was published. This assessment also indicated that a portion of the mural covering the central double window was beginning to delaminate from the building and subsequently fell off the building during an attempt to repair it. As a result, this is the only window currently visible on this façade, though the remaining windows still exist and are covered by stuccoed and painted mural panels. The historical analysis provided by the State reports that as many as four attempts have been made to restore this mural, and that its current state differs significantly from the original.

FINDINGS OF FACT

1. After conducting public hearings and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:
2. Staff Recommendation: Staff recommended that the Board designate the east and north façades as primary for this contributing structure, per 14-5.2 (C), Designation of Significant and Contributing Structures. Although alterations have taken place, staff felt that these facades were most prominent, captured the building’s character-defining features (stuccoed brick massing, brick coping, repetitive punched openings with steel divided-lite windows situated high on the walls, and loading docks), and could easily be restored.
3. The project is, without limitation, subject to requirements of the following sections of the Santa Fe Land Development Code:


- Section 14-5.2(D)(9), General Design Standards, Height Pitch Scale and Massing (of any structure);
 - Section 14-5.2(D) General Design Standards; Section 14-5.2(C), Regulation of Significant and Contributing Structures in the Historic Districts; and
 - Section 14-5.2(M), State Capital Outlay Projects.
4. The property is located in the Historic Transition District and is subject to Section 14-5.2(G) of the Santa Fe Land Development Code.
 5. Code 14-5.2(C)(2)(a - c) gives the Board authority to review and approve “significant,” “contributing,” or “noncontributing” status designations.
 6. Under Section 14-12.1, the definition of a “contributing structure” is “a structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.”
 7. Under Section 14-12.1, the definition of a “primary façade” is “one or more principal faces or elevations of a building with features that define the character of the building’s architecture.”
 8. Based on the information presented at the hearing, the mural on the east façade is approximately 39 years old.
 9. No information was presented at the hearing concerning the date that the decorative wood grilles were added to exterior of the windows on the northwest office wing.
 10. Although the enclosure of the loading dock on the east façade is not historic, the historic portion of the façade behind the enclosure could be restored.
 11. The Board, in response to the Application, finds the historic portions of the north and east façades numbered 1, 3, 5 and 6, as shown on attached Exhibit A, are the primary elevations of the structure with features that define the character of the structure’s architecture in that those façades contain stuccoed brick massing, brick coping, repetitive punched openings with steel divided-lite windows situated high on the walls, and loading docks.
 12. The information contained in the Application and provided in testimony and evidence establishes that all applicable requirements for Board review have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review the Application and designate primary façades.
2. The Board grants the Applicant’s request to designate primary façades and designates the historic portions of the north and east façades numbered 1, 3, 5 and 6, as shown on attached Exhibit A, as the primary façades.

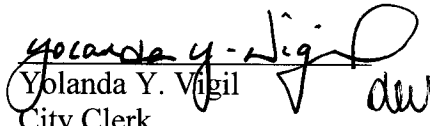
IT IS SO ORDERED ON THIS 23rd DAY OF APRIL 2019, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.



 Chairperson

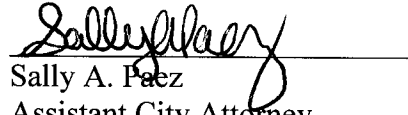
23 April 2019
 Date:

FILED:


Yblanda Y. Vigil
City Clerk

5/2/19
Date:

APPROVED AS TO FORM:


Sally A. Paez
Assistant City Attorney

23 April 2019
Date:

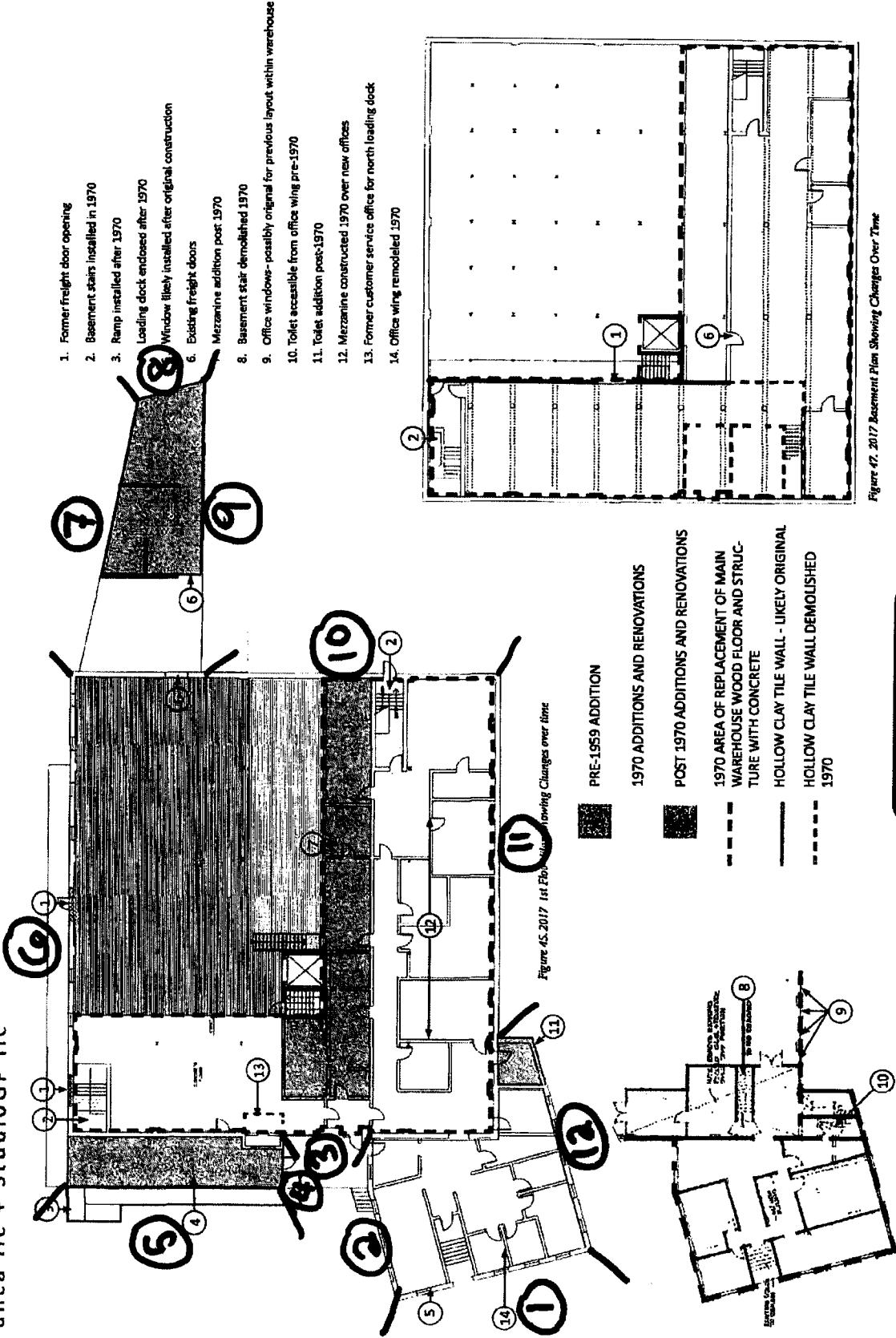


Figure 45. 2017 1st Floor Showing Changes over time

Figure 47. 2017 Basement Plan Showing Changes Over Time



Figure 46. 1970 Demolition Plan Showing previous layout of Office Wing

1. Former freight door opening
2. Basement stairs installed in 1970
3. Ramp installed after 1970
4. Loading dock enclosed after 1970
5. Window likely installed after original construction
6. Existing freight doors
7. Mezzanine addition post-1970
8. Basement stair demolished 1970
9. Office windows - possibly original for previous layout within warehouse
10. Toilet accessible from office wing pre-1970
11. Toilet addition post-1970
12. Mezzanine constructed 1970 over new offices
13. Former customer service office for north loading dock
14. Office wing remodeled 1970